

Madison, Wisconsin

CITY OF MADISON

CITY ENGINEERING DIVISION

DEPARTMENT OF PUBLIC WORKS

PLAN OF PROPOSED IMPROVEMENT

PUBLIC IMPROVEMENT PROJECT APPROVED

APPROVED DATE: 9/2/2025

BY THE COMMON COUNCIL OF MADISON, WISCONSIN

PUBLIC IMPROVEMENT DESIGN APPROVED BY:

11/06/2025

City Engineer

Date

SITE AND RETAINING WALL DESIGNED BY:



INDEX OF SHEETS

SHEET NO. EX-1	EXISTING CONDITIONS
SHEET NO. EC1	EROSION CONTROL AND SITE RESTORATION
SHEET NO. C1	SITE GRADING PLAN
SHEET NO. S1-S2	RETAINING WALL PLAN AND DETAILS
SHEET NO. MNI	MAINTENANCE PLAN (CITY USE ONLY)

114 E. WILSON SITE RESTORATION

CITY PROJECT NO. 15905
CONTRACT NO. 8841



PROJECT LOCATION

CONVENTIONAL SIGNS

FIELD VERIFY ALL UTILITY LOCATIONS

GAS	— G —
STORM SEWER	— ST —
SANITARY SEWER	— SN —
WATER	— W —
BURIED ELECTRIC	— E —
OVERHEAD ELECTRIC	— OH —
POWER POLE	□
ADA COMPLIANT RAMP W/ DETECTABLE WARNING FIELD	▣
COMBUSTIBLE FLUIDS	☀

NOTES:

EARTHWORK SUMMARY: SEE SPEC'S FOR PAYMENT INFO.

PLOT SCALE: 1:1_XREF

PLOT NAME: ----

REV. DATE: 10/30/2025 4:04 PM

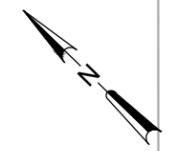
ORIGINATOR: CITY_OF_MADISON

E. DOTY STREET

E. WILSON STREET

123 E DOTY STREET CORP %
ELIOT BUTLER
123 E DOTY STREET
PARCEL # 070924202082

120 EAST WILSON LLC
120 E WILSON STREET
PARCEL # 070924202115



WRAP FENCE AROUND EXISTING STEEL STAIRS AND THEN EXTEND UNDER THE STAIRS TO THE EXISTING WALL AS SHOWN. MAINTAIN A MINIMUM 5-FOOT LANDING SPACE AT BOTTOM OF STAIRS.

NEW RETAINING WALL ALONG EXISTING WALL, SEE SHEET S1.

INSTALL SEEDING AND EROSION CONTROL MATTING CLASS 1 TYPE A.

PROPERTY LINE (TYP.)

GREAT DANE - PATIO AREA

RETURN FENCE TO EXISTING CONCRETE WALL.

16-FOOT SWING GATE AT EXISTING DRIVEWAY APRON

16-FOOT SWING GATE, LOCATE AT GAP BETWEEN STREET TREES AND PARKING METERS FOR ACCESS TO E. DOTY STREET.

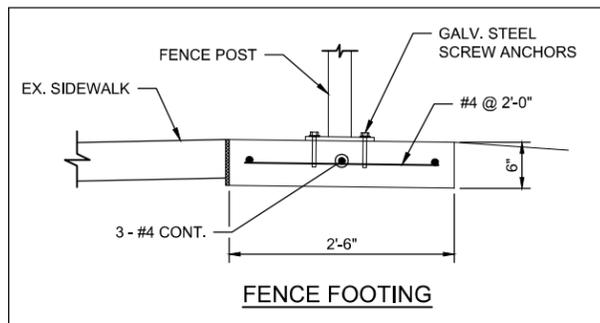
5-FOOT BLACK ORNAMENTAL STEEL FENCE ON CONCRETE FOOTING (TYP. AT EACH END OF SITE). SEE NOTES.

RETURN FENCE TO CLOSE GAP AT ADJACENT BUILDING (TYP.).

EXISTING BUILDING FOUNDATION WALL ALONG PROPERTY LINE

TEMPORARY SILT SOCK ALONG BACK OF FENCE UNTIL SEEDING IS ESTABLISHED.

RETURN FENCE TO CLOSE GAP AT ADJACENT BUILDING (TYP.).



APPLE HOSPITALITY MADISON
2312 S PINCKNEY STREET
PARCEL # : 070924202149

GENERAL NOTES:

1. ALL SEEDING AND EROSION CONTROL SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS. SEED MIX SHALL BE AN APPROVED "SUN TERRACE SEED MIX."
2. UNIFORMLY SPREAD 6 INCHES OF TOPSOIL ACROSS SITE.
3. PROVIDE AN ORNAMENTAL METAL FENCE AT EACH END OF THE SITE AS SHOWN. THE GAP BETWEEN THE FENCE AND ADJACENT STRUCTURE WALLS SHALL NOT EXCEED 6 INCHES. PROVIDE FLANGED BASE PLATES ON FENCE POSTS FOR SURFACE MOUNTING TO THE CONCRETE FENCE FOOTING. REFER TO SPECIAL PROVISIONS FOR FENCE REQUIREMENTS.

MARK	REVISION	DATE	BY
Designed By: BMO	Date: 6/9/2025		
Scale:			

EROSION CONTROL AND SITE RESTORATION
 114 E. WILSON SITE RESTORATION
 S:\MAD\1000--1099\1020\134\Drawings\CAD\Doty Street Parking Lot\Sheets

MADISON, WI
 CONTRACT NO.: 8841



15905
EC1

E. DOTY STREET

E. WILSON STREET

123 E DOTY STREET CORP %
ELIOT BUTLER
123 E DOTY STREET
PARCEL # 070924202082
(GREAT DANE PUB & BREWING)

120 EAST WILSON LLC
120 E WILSON STREET
PARCEL # 070924202115
(TEMPEST OYSTER BAR)

CITY OF MADISON PARKING
GOVERNMENT EAST RAMP
114 E WILSON STREET
PARCEL #:070924202131

APPLE HOSPITALITY MADISON
2312 S PINCKNEY STREET
PARCEL #: 070924202149
(EMBASSY SUITES HOTEL)

APPROX. BUILDING
FOOTPRINT (TYP.)

GREAT DANE - PATIO AREA

EX. CONCRETE WALL

PROPERTY LINE (TYP.)

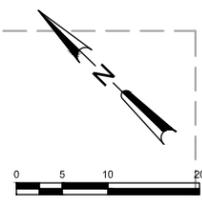
STEEL STAIRS
TO REMAIN

EX. SIDEWALK TO
REMAIN (TYP.)

EX. JOB TRAILERS

EX. SIDEWALK TO
REMAIN (TYP.)

EX. BUILDING FOUNDATION
WALL ALONG PROPERTY LINE



MARK	REVISION	DATE	BY
Designed By: BMO	Date: 6/9/2025		
Scale:			

EXISTING CONDITIONS
114 E. WILSON SITE RESTORATION
S:\MAD\1000--1099\1020\134\Drawings\CAD\Doty Street Parking Lot\Sheets

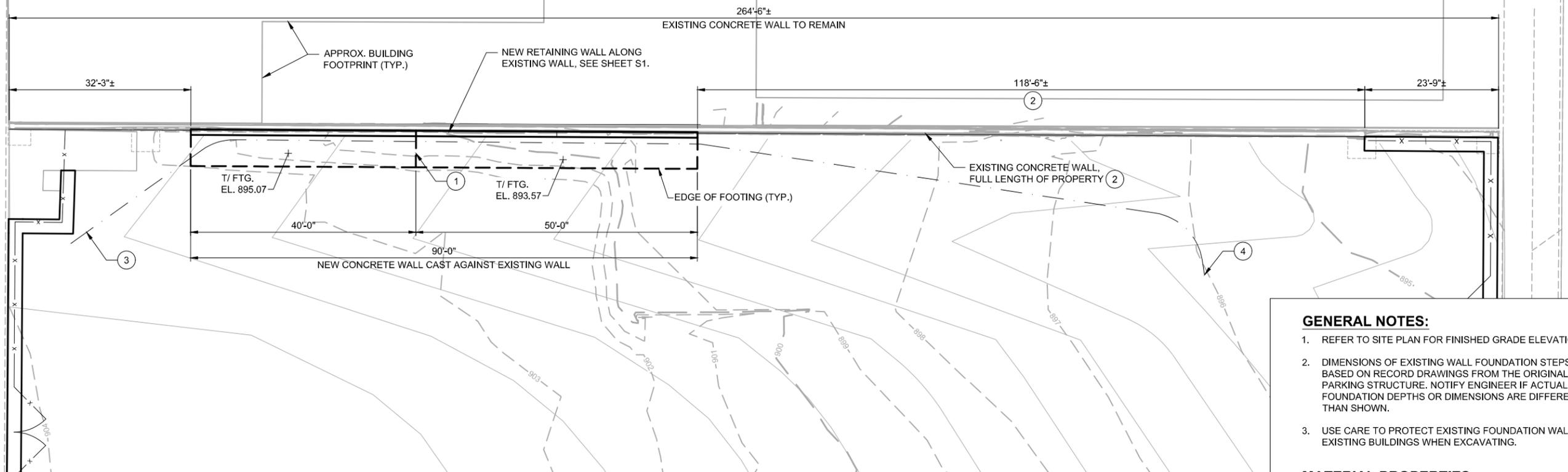
MADISON, WI
CONTRACT NO.: 8841



15905
EX1

E. DOTY STREET

E. WILSON STREET



PLAN

GENERAL NOTES:

- REFER TO SITE PLAN FOR FINISHED GRADE ELEVATIONS.
- DIMENSIONS OF EXISTING WALL FOUNDATION STEPS ARE BASED ON RECORD DRAWINGS FROM THE ORIGINAL PARKING STRUCTURE. NOTIFY ENGINEER IF ACTUAL FOUNDATION DEPTHS OR DIMENSIONS ARE DIFFERENT THAN SHOWN.
- USE CARE TO PROTECT EXISTING FOUNDATION WALL AND EXISTING BUILDINGS WHEN EXCAVATING.

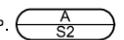
MATERIAL PROPERTIES:

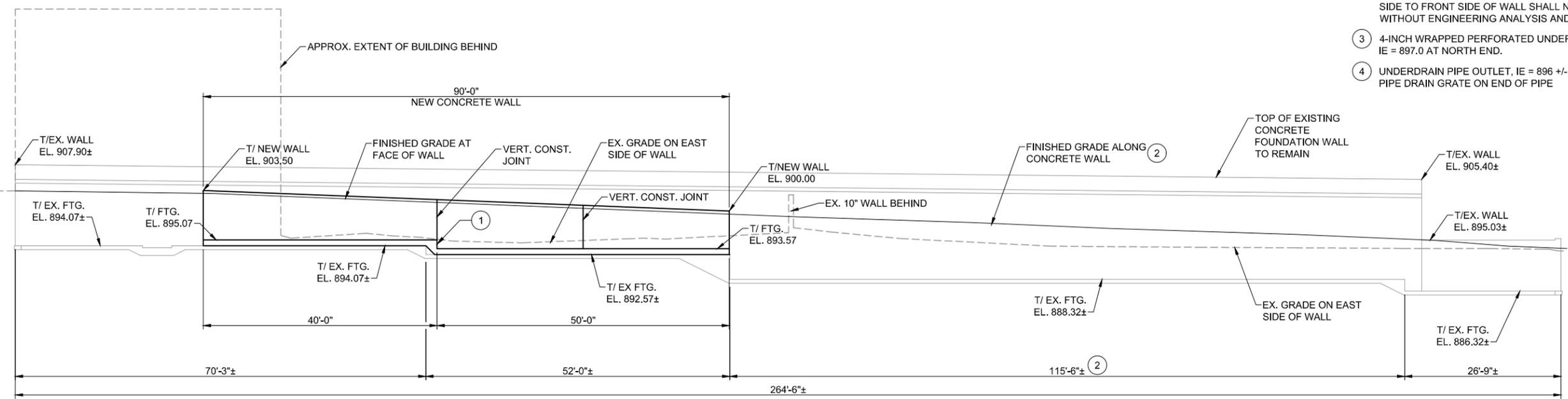
CAST-IN-PLACE CONCRETE $f'_c = 4,000$ psi
 BAR STEEL REINFORCEMENT $f_y = 60,000$ psi

DESIGN CONTACT

BRETT OFTEDAHL, STRAND ASSOCIATES, INC.: (608) 251-4843

KEY NOTES:

- FOOTING STEP. 
- THIS SEGMENT OF THE EXISTING FOUNDATION WALL IS SUITABLE TO RETAIN UP TO 3'-6" OF SOIL EMBANKMENT. THE GROUND ELEVATION DIFFERENCE FROM THE BACK SIDE TO FRONT SIDE OF WALL SHALL NOT EXCEED 3'-6" WITHOUT ENGINEERING ANALYSIS AND APPROVAL.
- 4-INCH WRAPPED PERFORATED UNDERDRAIN PIPE, IE = 897.0 AT NORTH END.
- UNDERDRAIN PIPE OUTLET, IE = 896 +/- . PROVIDE PIPE DRAIN GRATE ON END OF PIPE



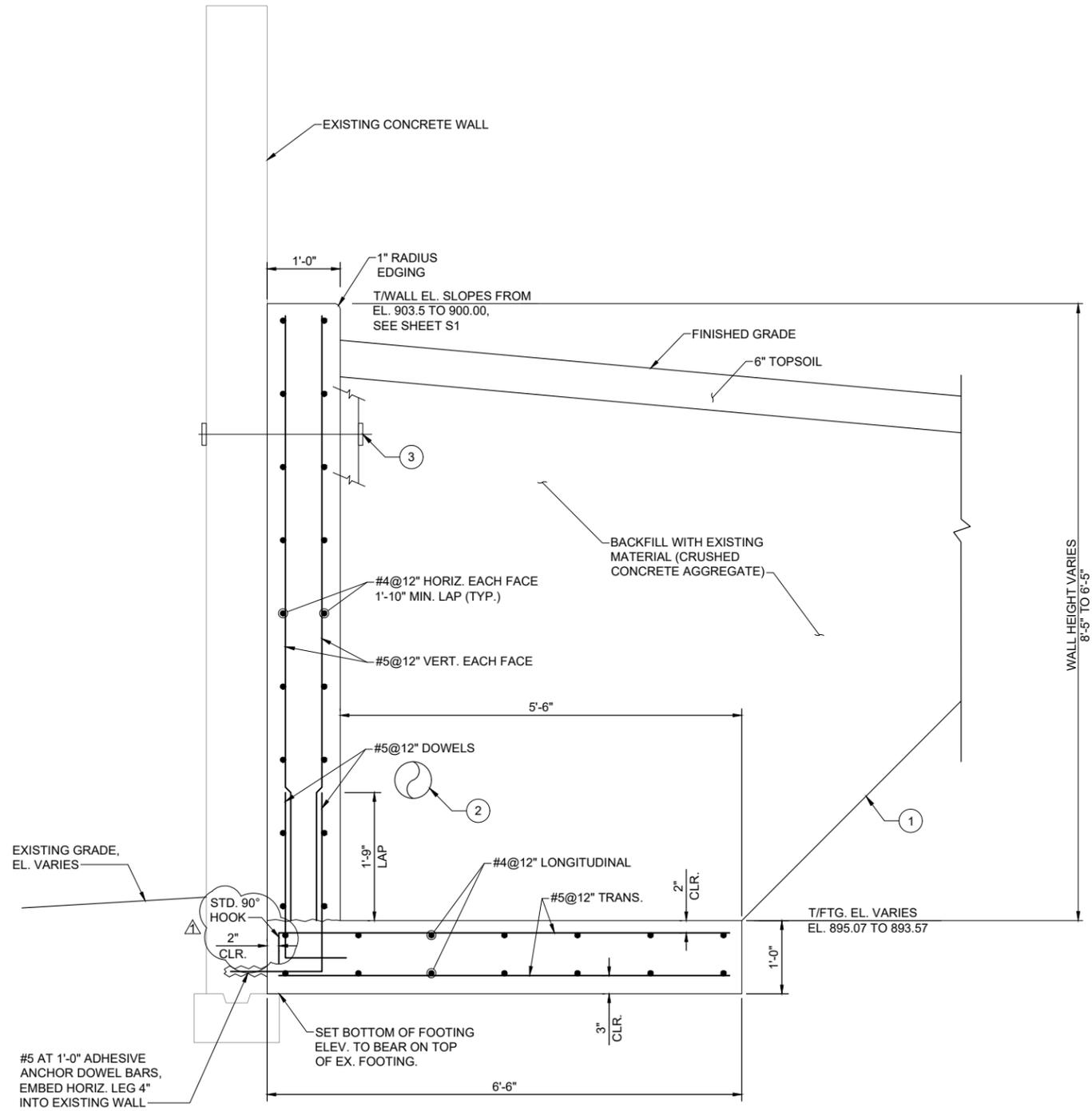
ELEVATION
(LOOKING EAST AT BACK FACE)

MARK	REVISION	DATE	BY
Designed By: BMO	Date: 6/9/2025		
Scale: 1" = 40'			

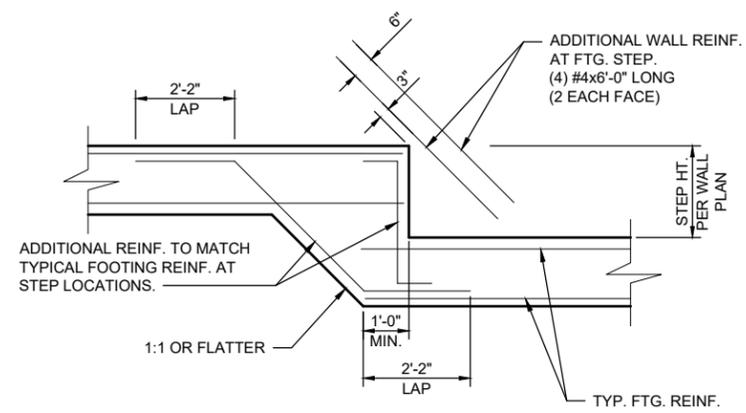
MADISON, WI
 CONTRACT NO.: 8841

RETAINING WALL PLAN AND ELEVATION
 114 E. WILSON SITE RESTORATION
 S:\MAD\1000--1099\1020\134\Drawings\CAD\Doty Street Parking Lot\Sheets





TYPICAL WALL SECTION
(NO SCALE)



A
S2 FOOTING STEP
NO SCALE

KEY NOTES:

- ① EXCAVATION SLOPE TO BE DETERMINED BY CONTRACTOR AND SHALL MEET OSHA REQUIREMENTS.
- ② 4-INCH PERFORATED UNDERDRAIN. SLOPE PIPE TO DRAIN TOWARDS THE SOUTH END OF THE SITE. DAYLIGHT PIPE AT APPROX. ELEVATION 896. PROVIDE PIPE DRAIN GRATE AT END OF PIPE.
- ③ FORM WORK FOR NEW WALL MUST BE TIED TO THE EX. WALL SUCH THAT THE PRESSURE FROM THE WET CONCRETE IS BALANCED BETWEEN THE NEW FORM AND EX. WALL. EXTERNAL BRACING OF ONLY THE NEW WALL FORM, COULD CAUSE THE EXISTING WALL TO FAIL UNDER THE PRESSURE OF WET CONCRETE IF NOT PROPERLY BRACED. ADHESIVE ANCHORS INTO THE EXISTING WALL MAY BE REQUIRED WHERE THE EAST SIDE OF WALL IS NOT ACCESSIBLE. CONTACT ENGINEER FOR REVIEW IF FORMING REQUIREMENTS ARE NOT CLEAR. CONTRACTOR IS RESPONSIBLE FOR DESIGN FOR FORMWORK.

NOTES:

1. SEE PLAN FOR FOOTING STEP DIMENSIONS AND TYPICAL WALL AND FOOTING REINFORCING.
2. STEPPED FOOTING TO BE POURED MONOLITHICALLY.

1	TRANSVERSE BAR HOOK	2/18/26	RKB
	REVISION	DATE	BY
	Designed By: BMO	Date: 2/18/2026	Scale: 1" = 4'

RETAINING WALL DETAILS
114 E. WILSON SITE RESTORATION
 S:\MAD1000--1099\1020\134\Drawings\CAD\Doty Street Parking Lot\Sheets
MADISON, WI
8841
CONTRACT NO.:



15905
S2

123 E DOTY STREET CORP %
ELIOT BUTLER
123 E DOTY STREET
PARCEL # 070924202082
(GREAT DANE PUB & BREWING)

120 EAST WILSON LLC
120 E WILSON STREET
PARCEL # 070924202115
(TEMPEST OYSTER BAR)



APPROX. BUILDING
FOOTPRINT (TYP.)

NEW RETAINING WALL ALONG
EXISTING WALL, SEE SHEET S1.

EXISTING CONCRETE WALL,
FULL LENGTH OF PROPERTY

BERM TO DIRECT
RUNOFF AS SHOWN

PROPERTY LINE (TYP.)

GREAT DANE - PATIO AREA

DRAINAGE
SWALE (TYP.)

EXISTING
DRIVEWAY
APRON

MATCH EXISTING
GRADE ALONG
SIDEWALK (TYP.)

CITY OF MADISON PARKING
GOVERNMENT EAST RAMP
114 E WILSON STREET
PARCEL #: 070924202131

DRAINAGE
SWALE (TYP.)

ORNAMENTAL STEEL
FENCE, SEE SHEET EC1.

MATCH EXISTING
GRADE ALONG
SIDEWALK (TYP.)

EXISTING BUILDING
FOUNDATION WALL
ALONG PROPERTY LINE

APPLE HOSPITALITY MADISON
2312 S PINCKNEY STREET
PARCEL #: 070924202149
(EMBASSY SUITES HOTEL)

GENERAL NOTES:

1. EXISTING SITE SOILS (AGGREGATE) SHALL REMAIN ON SITE AND BE RE-GRADED AS SHOWN.
2. COVER SITE WITH 6 INCHES OF TOPSOIL. CONTOURS AND ELEVATIONS PROVIDED ARE FINISHED GRADE ELEVATIONS.
3. REFER TO RETAINING WALL PLAN FOR UNDERDRAIN LAYOUT.

E. DOTY STREET

E. WILSON STREET

SITE GRADING PLAN
114 E. WILSON SITE RESTORATION

S:\MAD\1000--1099\1020\134\Drawings\CAD\Doty Street Parking Lot\Sheets

MADISON, WI

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15905

C1

MARK	REVISION	DATE	BY
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